



Department of Public Works
Engineering Division
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December 8, 2017

NOTICE OF ADDENDUM
ADDENDUM NO. 1

CONTRACT NO. 8064, PROJECT NO. 11225
MADISON METRO BUS GARAGE – ROOF REPLACEMENT

Revise and amend the contract document(s) for the above project as stated in this addendum, otherwise, the original document shall remain in effect.

This addendum consists of the following documents:

1. **GENERAL CONTRACT CONDITIONS**

No Change

2. **GENERAL QUESTIONS AND ANSWERS**

What are the requirements for replacing the wood stairs?

- *This should be eliminated from the scope. Metro will replace the stairs (per Jim Fink).*

Where can we stage equipment and supplies?

- *Equipment can be staged along the east Washington ave. side of the building (see next question), and in select areas on the parking lot side of the building. These areas are indicated in Appendix E*

Can East Washington Ave side of the building be used as a staging area?

- *Yes, the Metro grounds along E Washington can be used as a staging area. The sidewalk and parking lane may also potentially be used as a staging area. Use of any/all of these areas will require a street occupancy permit. Permit information can be found here:
<https://www.cityofmadison.com/development-services-center/land-development/public-right-of-way/street-occupancy>*

Are there better times for coming and going so as to avoid bus traffic?

- *Yes, between 9am and 3pm is relatively quiet for bus traffic.*

How big is the roof (sf)?

- *165,000 sf including the main roof and outbuilding. Contractor is responsible for field verifying dimensions.*

Is this project subject to prevailing wage?

- *Yes, this is a partially federally funded project, and is subject to **Davis-Bacon** rules.*

From bid items, what is the difference between install new blocking and remove and replace wood blocking?

- *New Blocking: There may be some areas where new blocking is required where no existing blocking is present.*
- *Remove and Replace: This it to account for any wood blocking that may have deteriorated and need to be replaced.*

Can we arrange additional walk-throughs?

- *Yes. Contact Jim Fink ph# 608-267-4951*

Some of the cores show 7" of insulation. Are you really going to remove it and replace it with 3" insulation?

- *These areas are just along the office area and extend into the field of the office area roof, which is 1 ½" thick. This is tapered and filler material and is being removed in order to provide a greater distance to the wall flashing along the parapet at this roof edge. It is an unknown condition at this time.*

Can you supply the photos of the cores?

- *Yes, see Appendix F for all core sample images.*

How accessible are the roof drains from the interior?

- *Roof drains should be accessible without removing any existing construction.*

Who is disconnecting the mechanical units?

- *Owner will disconnect mechanical units.*

How do the openings for the removed exhaust fans need to be capped for protection during construction? Is plywood OK?

- *Contractor's option to provide a weather proof cap. Plywood should be fine if constructed and secured properly.*

As detailed, the transition from the flat wall to the sawtooth roof will not be covered by warranty and will leak, is this the direction you want to proceed?

- *After discussion with the Firestone rep, the detail provided seems to be the best option. Other options would require cutting into the metal panels and flashing through them. Contractors should bid the project with this detail, but would have the option to submit a change order for another detail. This detail has also been used as a repair to leaking wall panels on other city projects with positive results.*

3. **SUBSTITUTION REQUESTS**

No Change

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4. **SPECIFICATIONS**

No Change

5. **DRAWINGS**

Minor formatting changes, clarification of stair replacement responsibility, see AD-1 markings on sheets: AD100, A100

6. **PROPOSAL**

No Change

Please attach these Addendum documents to the Drawings and Project manual in your possession.

Please acknowledge this addendum on page E1 of the contract documents and/or in Section E: Bidder's Acknowledgement on Bid Express.

Electronic version of these documents can be found on the Bid Express web site at:

<http://www.bidexpress.com>

If you are unable to download plan revisions associated with the addendum, please contact the Engineering office at 608-266-4751 receive the material by another route.

Sincerely,

A handwritten signature in black ink that reads "Robert Phillips". The signature is stylized with large, flowing loops.

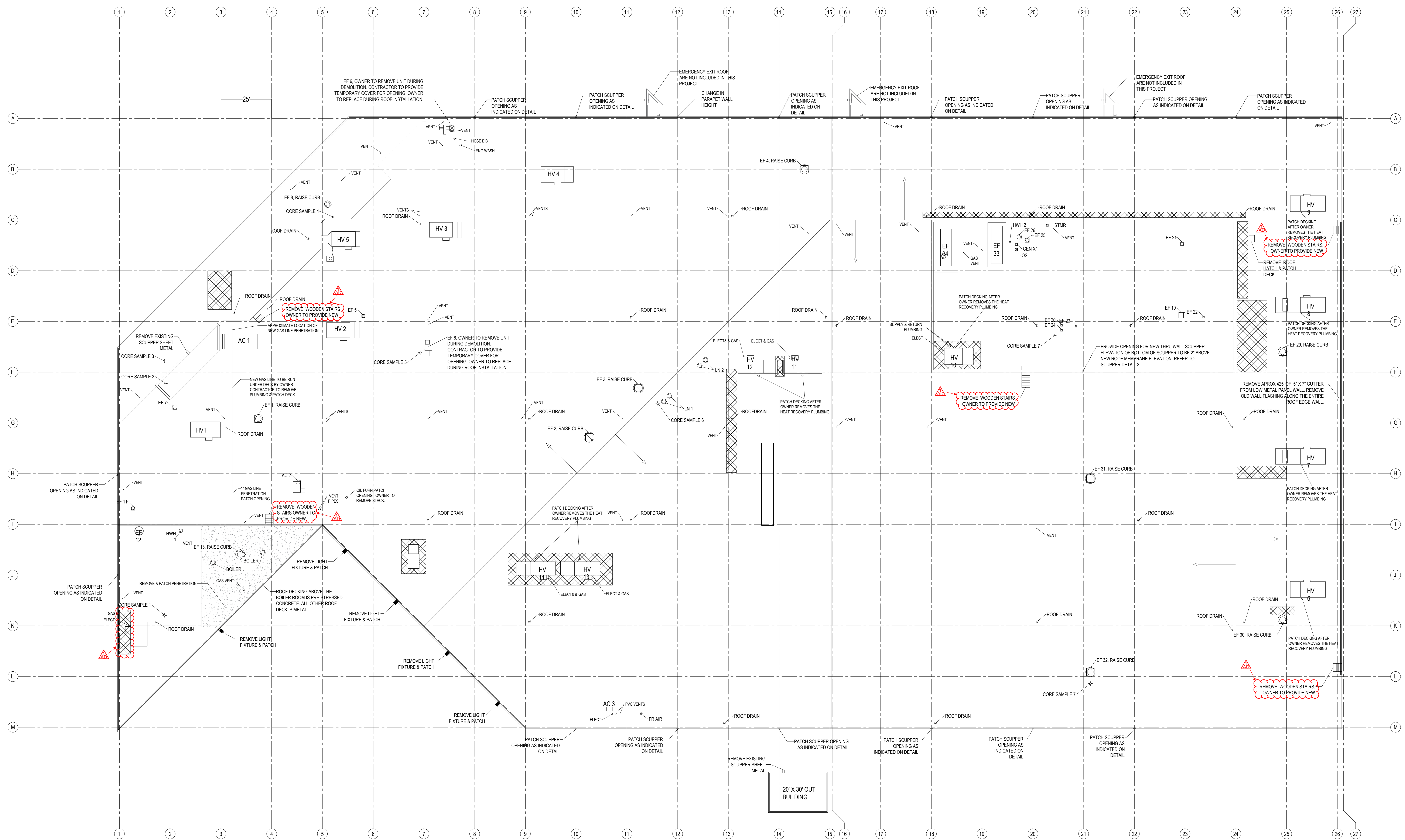
Robert F. Phillips, P.E., City Engineer

Cc: Greg Fries



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METRO MAINTENANCE FACILITY -
ROOF REPLACEMENT
1101 E. WASHINGTON AVE.
MADISON, WI 53703



1 DEMOLITION PLAN

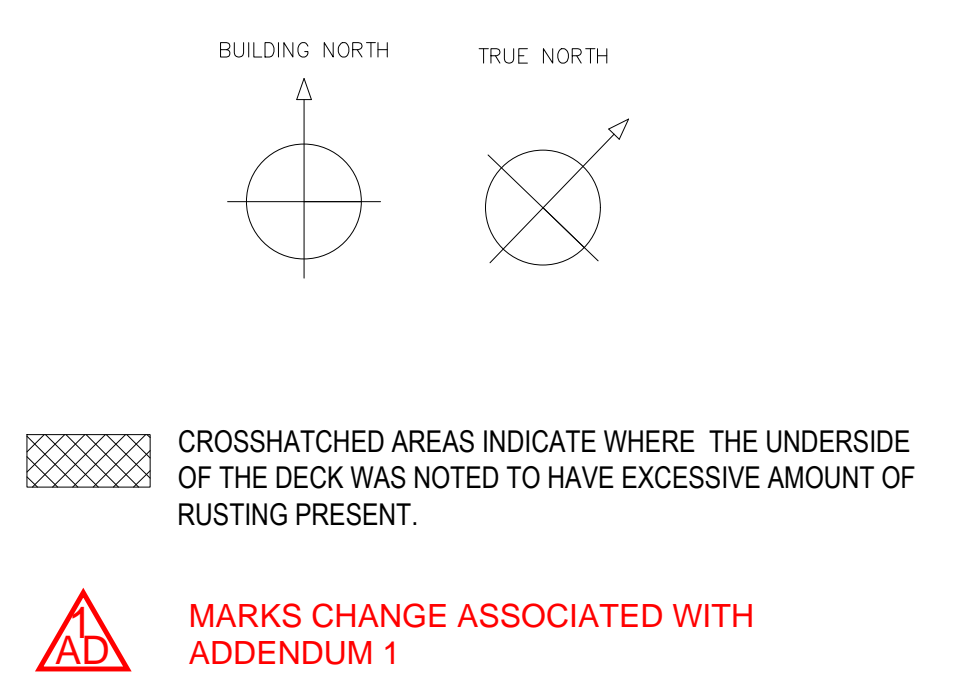
SCALE: no scale

DEMOLITION GENERAL NOTES:

- EXISTING ROOF REMOVAL: THE EXISTING BALLASTED EPDM ROOFING SYSTEM SHALL BE REMOVED DOWN TO THE METAL OR CONCRETE AS APPLICABLE. WORK INCLUDES THE 20' X 30' OUT BUILDING, BUT DOES NOT INCLUDE THE EMERGENCY EXITS.
- CONDITION OF DECK & REPAIRS: BOTH DECK TYPES SHALL BE INSPECTED FOR SIGNS OF DAMAGE OR DETERIORATION PRIOR TO PROCEEDING WITH THE INSTALLATION OF THE NEW ROOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE DECKING IS IN SATISFACTORY CONDITION SUCH THAT IT MEETS THE REQUIREMENTS TO OBTAIN THE SPECIFIED WARRANTY. PORTIONS OF THE METAL DECK WERE NOTED TO SHOW SIGNS OF BUCKING AND/OR RUSTING FROM THE UNDERSIDE. REPAIRS TO THE STEEL DECK SHALL BE COMPLETED AS SPECIFIED IN SECTION 05 31 00 - STEEL DECKING. REPAIRS SHALL BE PAID ON A UNIT COST BASIS FOR ACTUAL AMOUNTS OF REPAIR DECKING INSTALLED. ALL REPAIRS SHALL BE APPROVED BY THE CITY PROJECT MANAGER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL PROVIDE AN ACCURATE & DETAILED "AS BUILT" DRAWING SHOWING THE LOCATIONS OF ALL DECKING REPAIRS MADE. ALL ROOF PATCHING FOR PENETRATIONS TO BE REMOVED THAT ARE INDICATED ON THE DRAWINGS SHALL BE INCLUDED IN THE BASE BID.
- ROOF HATCH: THE ROOF HATCH SHALL BE REMOVED & THE DECK PATCHED AS PART OF THE BASE BID.
- METAL WALL SCUPPERS: PATCH SCUPPER OPENING ON BOTH SIDES OF THE EXTERIOR PARAPET WALL. THESE SCUPPERS SHALL BE REPLACED WITH OVERFLOW DRAINS & PLUMBING / DOWNSPOUT NOZZLES THROUGH THE EXTERIOR WALL.
- EXTEND CURBING: THE FOLLOWING UNITS SHALL HAVE THEIR CURBING EXTENDED BY A MINIMUM OF 3 1/2". EF 1, EF 2, EF 3, EF 4, EF 8, EF 13, EF 29, EF 30, EF 31 & EF 32. FINAL ELEVATION OF CURBING SHALL BE A MINIMUM OF 8" ABOVE THE ELEVATION OF THE NEW ROOF.
- PARAPET MOUNTED LIGHT FIXTURES: REMOVE THE 5 OVERHANGING LIGHT FIXTURE BY THE BUS ENTRANCE AREA & PATCH HOLES AND ELECTRICAL OPENING IN PARAPET WALL. THESE UNITS SHALL BE ELECTRICALLY DISCONNECTED PRIOR TO DEMOLITION.
- CORE SAMPLES: ALL CORE SAMPLES TAKEN ON THE 1978 ROOF SHOWS THE FIELD THICKNESS OF THE INSULATION AT 1 1/2" (1/2" PERLITE FIBERBOARD ADHERED TO 1" INSULATION BOARD) THE CORE SAMPLES FOR THE 1982 ROOF SHOW THE FIELD THICKNESS TO BE 1" (1" INSULATION BOARD). THE BIDDING CONTRACTORS MAY TAKE ADDITIONAL CORE SAMPLE.
- WORK BY OWNER: THE METRO MAINTENANCE STAFF SHALL PERFORM THE FOLLOWING WORK THAT COORDINATES WITH THE ROOF DEMO:
 - ELECTRICALLY DE-ENERGIZE / DISCONNECT / RECONNECT / ENERGIZE ANY ROOF TOP UNITS/DEVICES AS REQUIRED.
 - UNITS EF 6 & EF 14 WILL BE REMOVED DURING THE DEMOLITION & REPLACED WITH NEW UNITS AFTER THE NEW ROOFING SYSTEM IS INSTALLED.
 - DISCONNECT / RECONNECT THE REFRIGERANT LINES AS REQUIRED FOR UNITS AC 1, HV 5 & AC 2
 - DISCONNECT GAS LINE FOR UNIT AC 1.
 - REPAINT THE UPPER PORTION OF THE COUNTER FLASHING EMBEDDED IN THE MORTAR JOINT.
 - DISCONNECT THE GAS LINE GOING TO AC 1. THE CONTRACTOR SHALL REMOVE THE LINE, PATCH THE EXISTING HOLE & FLASH IN A NEW PENETRATION CLOSER TO THE UNIT AS PART OF THE BASE BID.
 - REMOVE THE EXISTING HEAT RECOVERY PLUMBING FROM UNITS: HV 6, HV 7, HV 9, HV 9, HV 10, HV 11, HV 12, HV 13 & HV 14. THE CONTRACTOR SHALL PATCH THESE HOLES AS PART OF THE BASE BID.
 - REMOVE EXISTING PENETRATIONS FOR AS NOTED ON PLANS. CONTRACTOR TO PATCH DECK AS PART OF THE BASE BID.
 - THE CONTRACTOR SHALL COORDINATE WITH METRO MAINTENANCE & GIVE A MINIMUM OF 24 HOURS PRIOR NOTICE FOR ANY THE ABOVE WORK.
- WOODEN STAIRS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL WOODEN STAIRS & MAKE NECESSARY REPAIRS OR ADJUSTMENTS WHEN REINSTALLED. IF ANY STAIRS CAN NOT BE REUSED THE CONTRACTOR SHALL REPLACE WITH NEW.
- ROOF DRAINS: EXISTING PRIMARY ROOF DRAINS ARE TO BE REPLACED. THE CONTRACTOR SHALL PROVIDE NEW CAST IRON DRAINS WITH CAST IRON DOMES.
- MORTAR JOINTS: INSPECT ALL BRICK MASONRY WALLS CONTAINED ON THE INTERIOR OF THE MAIN ROOF FOR LOOSE, WORN OR DEFECTIVE MORTAR JOINTS. GRIND OUT DEFECTIVE MORTAR JOINTS & REPOINT. REPAIRS WILL BE PAID ON A UNIT BASIS FOR ACTUAL WORK PERFORMED.
- MISCELLANEOUS DEMO: DEMO ALL ITEMS AS INDICATED ON PLANS THAT ARE NOT SPECIFICALLY CLARIFIED IN THESE GENERAL NOTES.

CORE SAMPLE SCHEDULE

CORE SAMPLE #1	SINGLE BOARD 1.5" THICK CONSISTING OF TAR PAPER/ FOAM INSULATION/FIBERBOARD
CORE SAMPLE #2	SINGLE BOARD 1.5" THICK CONSISTING OF TAR PAPER/ FOAM INSULATION/FIBERBOARD
CORE SAMPLE #3	SINGLE BOARD 1.5" THICK CONSISTING OF TAR PAPER/ FOAM INSULATION/FIBERBOARD
CORE SAMPLE #4	APPROXIMATELY 7" THICK OF FIBERBOARD & TAPERED PERLITE BOARD
CORE SAMPLE #5	SINGLE BOARD 1.5" THICK CONSISTING OF TAR PAPER/ FOAM INSULATION/FIBERBOARD
CORE SAMPLE #6	SINGLE BOARD 1" THICK CONSISTING OF FOAM INSULATION BOARD
CORE SAMPLE #7	SINGLE BOARD 1" THICK CONSISTING OF FOAM INSULATION BOARD
CORE SAMPLE #8	SINGLE BOARD 1" THICK CONSISTING OF FOAM INSULATION BOARD



Roof Demo Plan

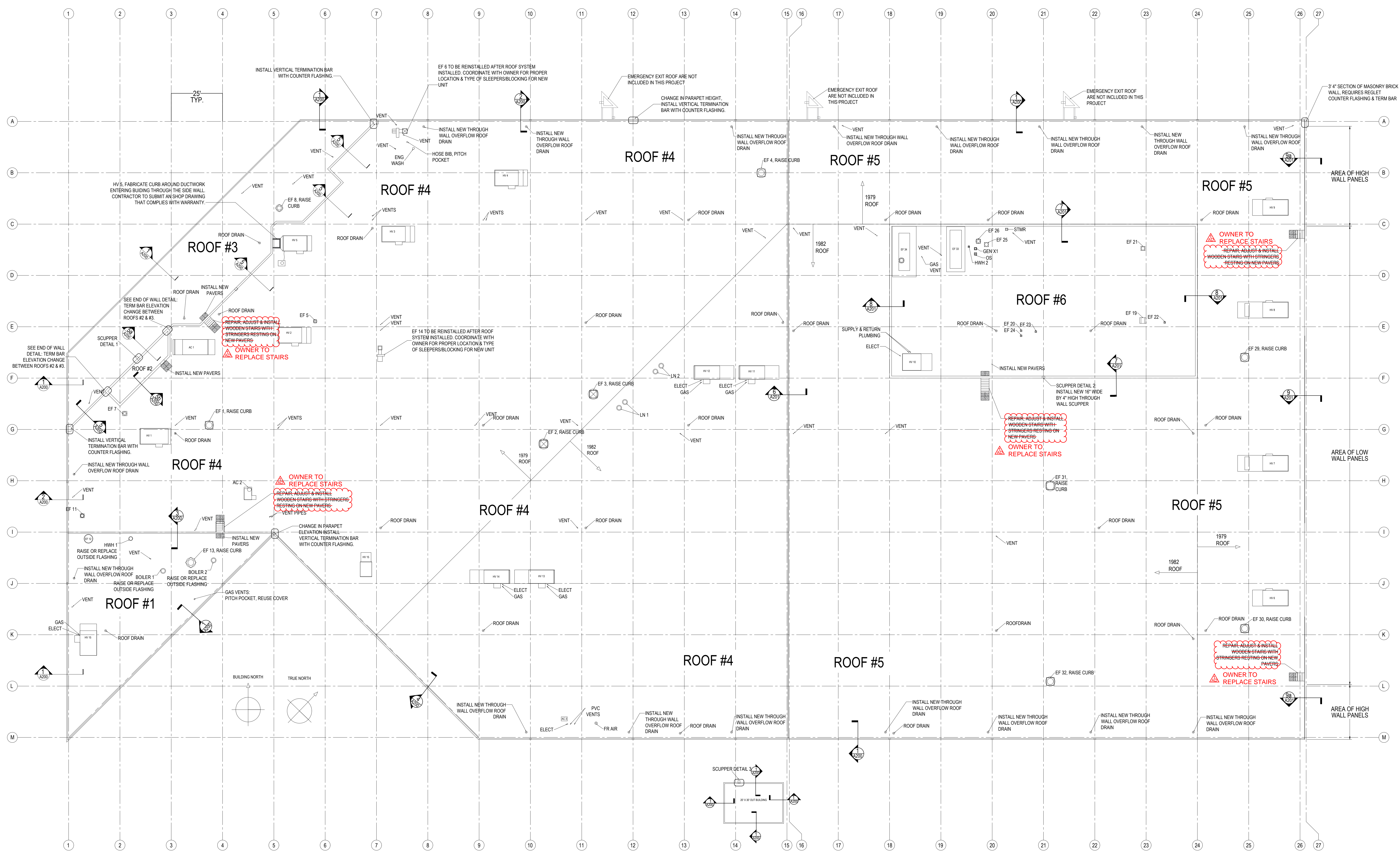
CONTRACT #	8064
MUNIS #	11226
DRWN BY:	PBS
DATE	10/30/17
REV:	11/06/17
AD-1	12/8/17
SHEET	

AD100



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ROOF REPLACEMENT
1101 E WASHINGTON
MADISON, WI 53703



1 ROOF PLAN

SCALE: NOT TO SCALE

- GENERAL NOTES:
- EXTENT OF ROOF REPLACEMENT: INSTALL NEW BALLASTED 60 MIL EPDM MEMBRANE ON THE MAIN BUILDING (ROOFS 1-6) AND THE SOUTH 20' x 30' OUT BUILDING. THE 6 EMERGENCY EXIT ROOFS ARE NOT INCLUDED IN THIS SCOPE OF WORK. THE EXISTING DECK IS SLOPED & NO TAPERED INSULATION IS REQUIRED FOR PROPER DRAINAGE.
 - BALLAST: THE CONTRACTOR HAS THE OPTION TO REUSE OR REPLACE THE EXISTING BALLAST. ADDITIONAL REPLACEMENT BALLAST MAY BE REQUIRED DUE TO WIND UPLIFT REQUIREMENTS.
 - CONDITION OF DECK REPAIRS: PROCEED WITH INSTALLATION OF THE NEW ROOFING SYSTEM ONLY AFTER THE DECK HAS BEEN INSPECTED & SATISFACTORY REPAIRED. THE SIZE & EXTENTS OF THE METAL DECK REPAIRS SHALL BE RECORDED ON AN "AS BUILT" DRAWING BY THE CONTRACTOR & SUBMITTED TO THE CITY UPON COMPLETION.
 - SLEEPERS: REPLACE ALL EXISTING SLEEPERS PER DETAIL.
 - PAVERS: INSTALL NEW 24" x 24" PAVERS AS SHOWN ON PLANS.
 - REPLACEMENT EXHAUST FANS BY OWNER: COORDINATE INSTALLATION OF NEW EXHAUST FANS EF 6 & EF 14 WITH THE OWNER. NEW FANS WILL HAVE SIMILAR INSTALLATION REQUIREMENTS AS THOSE REMOVED. THE CONTRACTOR SHALL PROVIDE NECESSARY SLEEPERS, PROTECTIVE MEMBRANE & COUNTER FLASHING AS REQUIRED.
 - PENETRATIONS: INSTALL PER DETAILS. NOTIFY CITY PROJECT MANAGER OF ANY PENETRATIONS THAT ARE NOT COVERED BY THE DETAILS ON THE PLANS OR SUBMITTALS.
 - PERIMETER PARAPET WALL SCUPPERS: 15 EXTERIOR THROUGH WALL SCUPPER SHALL BE REPLACED WITH 17 THROUGH WALL OVERFLOW DRAINS AS SHOWN ON THE PLANS. NEW DRAINS SHALL BE 15" IN DIAMETER WITH 6" LEADERS, CAST IRON BODY & DOME.
 - HV 5 DUCTWORK PENETRATION: THE WALL PENETRATION FOR ROOF TOP UNIT HV 5 WILL LACK PROPER ELEVATION CLEARANCE BETWEEN THE TERMINATION BAR & THE FINAL ELEVATION OF THE NEW ROOFING MEMBRANE. A CURB SHALL BE FABRICATED AROUND THE AREA WHERE THE DUCTWORK PENETRATES THE WALL. THE CONTRACTOR SHALL CONSULT WITH THE ROOFING MANUFACTURE TO PROVIDE AND INSTALL A WARRANTABLE DETAIL FOR THIS PENETRATION THAT WILL COVER THE DUCTWORK & END WITH A PROPER TERMINATION.
 - ROOF DRAIN REPLACEMENT: ALL 28 ROOF DRAINS SHALL BE REPLACED WITH NEW. NEW DRAINS SHALL BE 15" IN DIAMETER WITH 8" LEADERS, CAST IRON BODY AND DOME. ANY DRAINS WITH 6" LEADERS SHALL BE INCREASED TO 8" LEADERS WITH A REDUCER TO CONNECT TO THE EXISTING PLUMBING AS REQUIRED. RE-INSULATE THE UNDERSIDE OF THE DRAINS & ASSOCIATED PLUMBING.

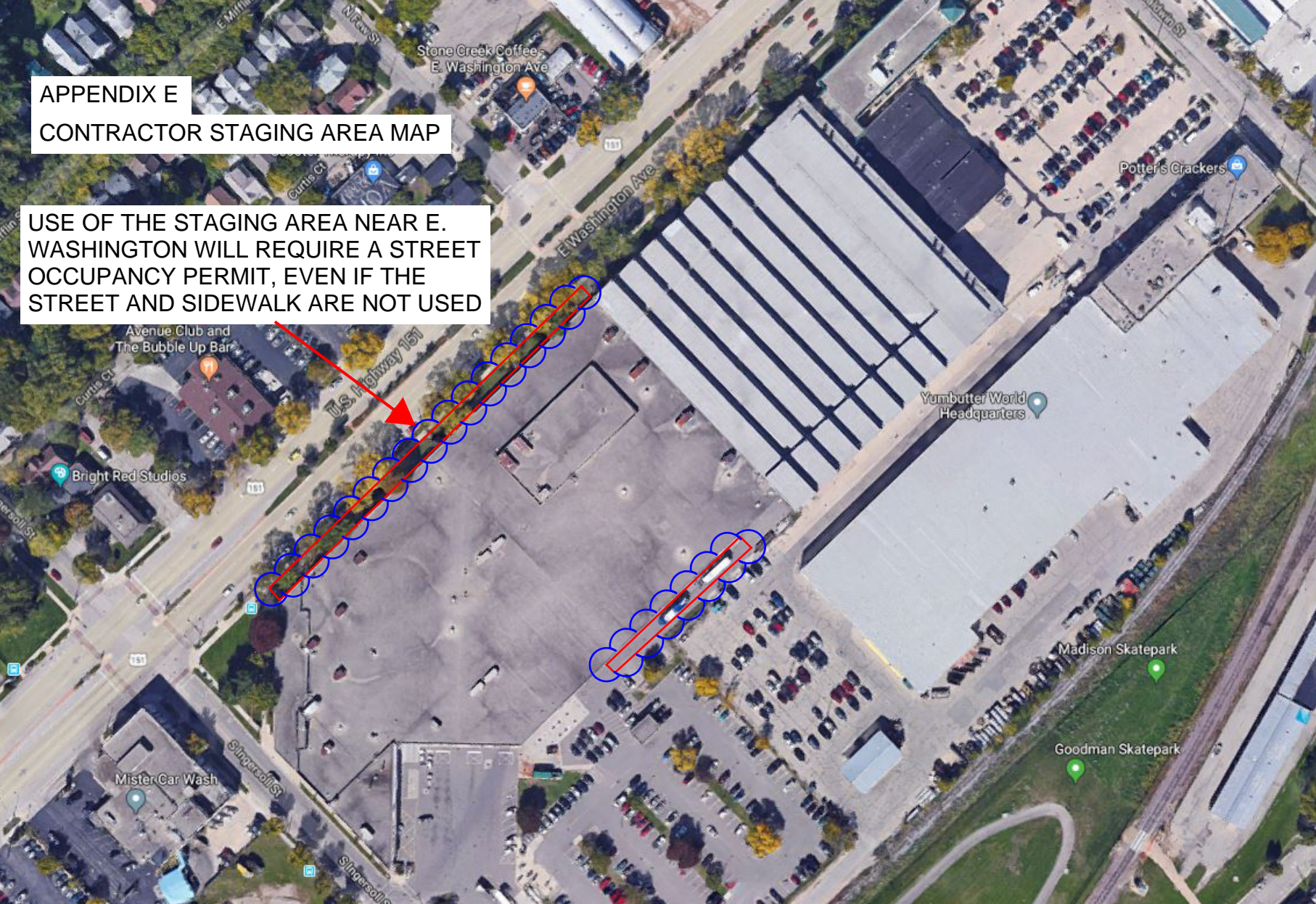
MARKS CHANGE ASSOCIATED WITH ADDENDUM 1

Roof Plan	
CONTRACT #	8064
MUNIS #	11226
DRWN BY:	PBS
DATE:	10/30/17
REV:	11/10/17
AD-1	12/8/17
SHEET	
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APPENDIX E

CONTRACTOR STAGING AREA MAP

USE OF THE STAGING AREA NEAR E. WASHINGTON WILL REQUIRE A STREET OCCUPANCY PERMIT, EVEN IF THE STREET AND SIDEWALK ARE NOT USED





10/09/2017

METRO CS 1



10/09/2017

METRO CS 1

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METRO CS 2





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APPENDIX F



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